

20.8 Commercial Mixed Use (ZMU8) London Landing (Steveston)

20.8.1 Purpose

The zone provides for **commercial**, industrial and residential **uses** in the Steveston area.

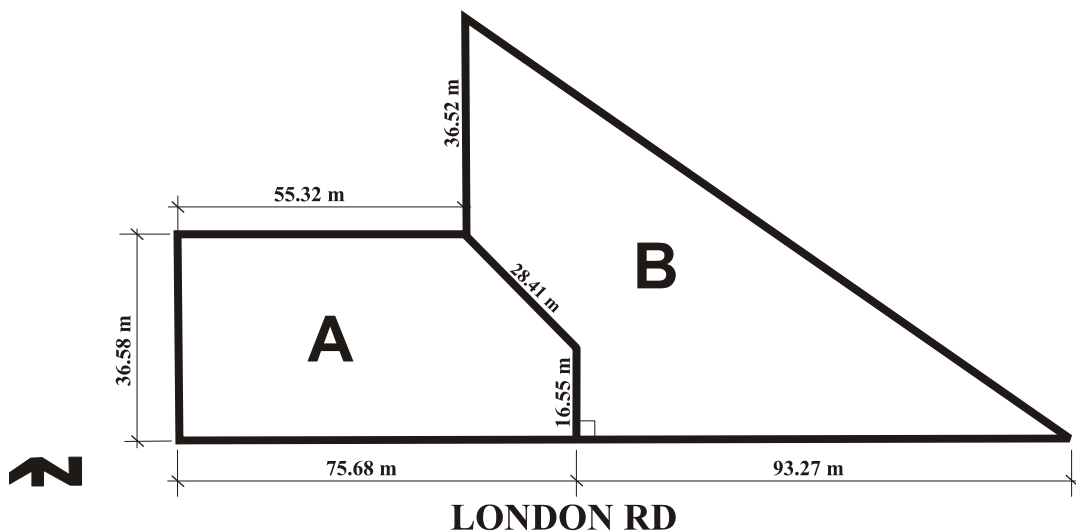
20.8.2 Permitted Uses

- child care
- education, commercial
- health service, minor
- housing, apartment
- housing, town
- industrial general
- manufacturing, custom indoor
- office
- parking, non-accessory
- recreation, indoor
- restaurant
- retail, convenience
- retail, general
- service, business support
- service, financial
- service, household repair
- service, personal
- studio
- veterinary service

20.8.3 Secondary Uses

- boarding and lodging
- community care facility, minor
- home business

Diagram 1:



20.8.4 Permitted Density

1. The maximum **floor area ratio** (FAR) is 1.45.

20.8.5 Permitted Lot Coverage

1. The maximum **lot coverage** is 52% for **buildings**.

20.8.6 Yards & Setbacks

1. There is no minimum **setback** from a public **road**.
2. The minimum **side yard** and **rear yard** is 3.0 m, except that there are no minimum west **side yard** and north **rear yard** requirements for **buildings**, **accessory structures** and underground parking **structures**.
3. **Balconies**, **bay windows** and **cantilevered roofs** forming part of the **principal building** may project into the **rear yard** for a distance of not more than 2.0 m.

20.8.7 Permitted Heights

1. The maximum **height** for **buildings** and **accessory structures** is 23.0 m.
2. The maximum **height** for **accessory buildings** is 5.0 m.

20.8.8 Subdivision Provisions/Minimum Lot Size

1. There are no minimum **lot width**, **lot depth** or **lot area** requirements.

20.8.9 Landscaping & Screening

1. **Landscaping** and **screening** shall be provided in accordance with the provisions of Section 6.0.

20.8.10 On-Site Parking and Loading

1. On-site **vehicle** and bicycle parking and loading shall be provided according to the standards set out in Section 7.0, except that the parking aisle width is 6.7 m.

20.8.11 Other Regulations

1. The following **principal uses** are permitted only within the area identified as "A" in Diagram 1, Section 20.8.2, provided they are restricted to the ground floor:
 - a) **child care**;
 - b) **education, commercial**;
 - c) **health service, minor**;
 - d) **industrial, general**;
 - e) **manufacturing, custom indoor**;
 - f) **office**;
 - g) **parking, non-accessory**;
 - h) **recreation, indoor**;
 - i) **restaurant**;

- j) **retail, convenience;**
 - k) **retail, general;**
 - l) **service, business support;**
 - m) **service, financial;**
 - n) **service, household repair;**
 - o) **service, personal;**
 - p) **studio;** and
 - q) **veterinary service.**
2. **Apartment housing** is permitted only within the area identified as “A” in Diagram 1, Section 20.8.2, provided that it is restricted to the second floor of the **building** and above.
3. The following **principal uses** are permitted only within the area identified as “B” in Diagram 1, Section 20.8.2:
- a) **housing, apartment;** and
 - b) **housing, town.**
4. The following **secondary uses** are permitted only within the area identified as “A” in Diagram 1, Section 20.8.2, provided they are restricted to the second floor and above:
- a) **boarding and lodging;**
 - b) **community care facility, minor;** and
 - c) **home business.**
5. The following **secondary uses** are permitted only within the area identified as “B” in Diagram 1, Section 20.8.2:
- a) **boarding and lodging;**
 - b) **community care facility, minor;** and
 - c) **home business.**
- [Bylaw 9723, Jul 17/17]
6. In addition to the regulations listed above, the General Development Regulations in Section 4.0 and the Specific Use Regulations in Section 5.0 apply.

