

Richmond Official Community Plan

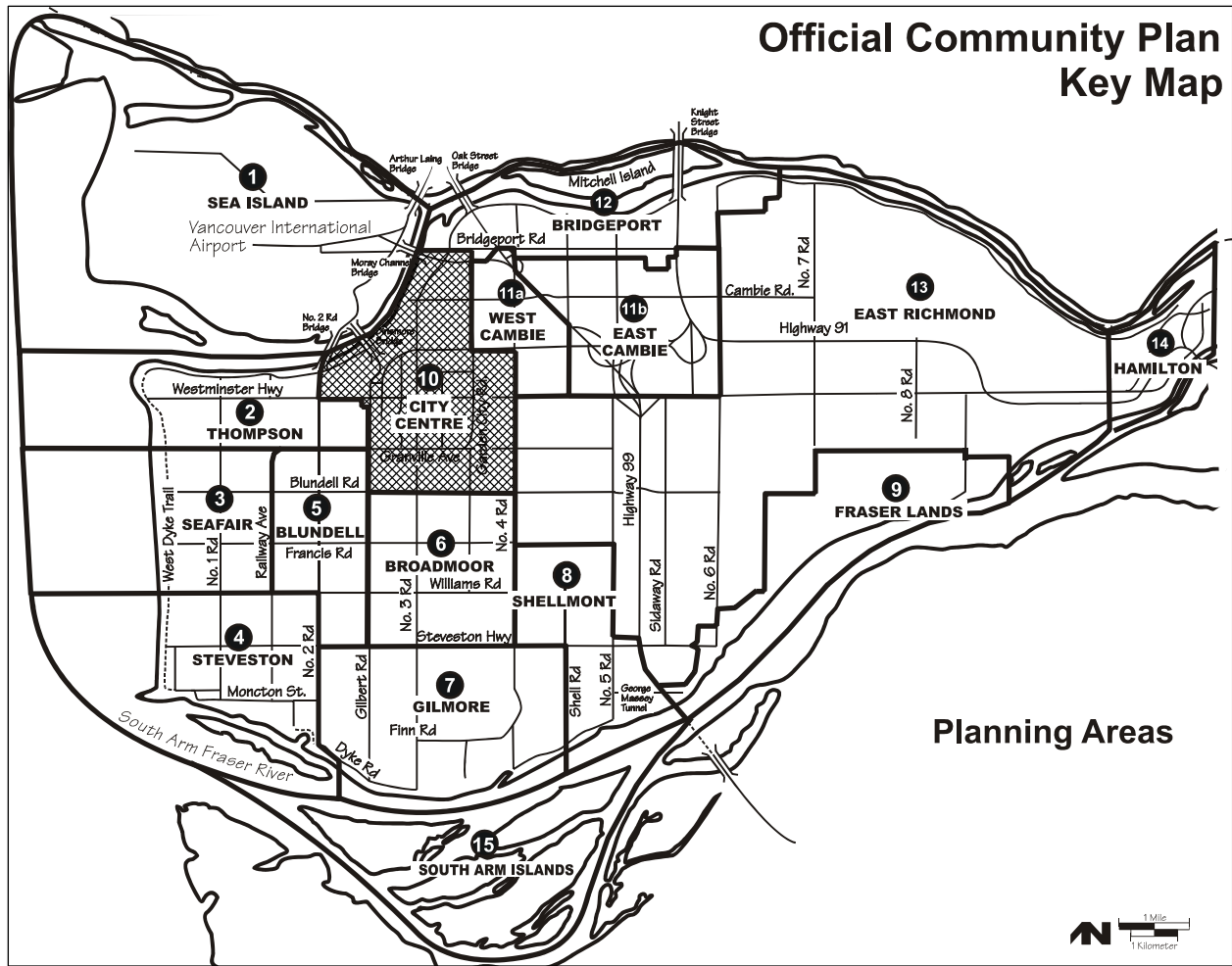


City of Richmond

CITY CENTRE AREA McLENNAN SOUTH SUB-AREA PLAN Bylaw 7100 Schedule 2.10D



KEY MAP



PLAN AREA MAP

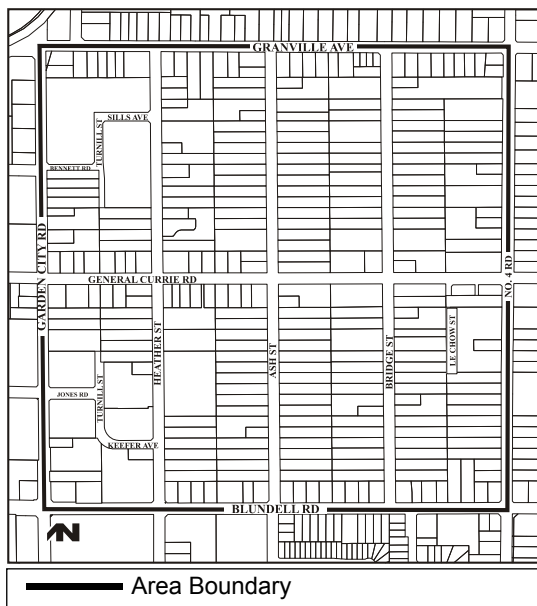


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PLAN INTERPRETATION

What is the Official Community Plan (OCP)?

The OCP is a legal community planning document for managing the City's social, economic, land use, servicing and environmental future. It sets out a vision, goals, objectives, and policies that reflect overall community values that have been determined through a public consultation process.

How is the Plan organized?

The OCP (Bylaw 7100) is comprised of:

- 1) Schedule 1: the overall OCP;
- 2) Schedule 2: Area Plans and Sub-Area Plans.

Area Plans refer to the 15 areas that have been identified within Richmond for planning purposes (see Key Maps).

Sub-Area plans refer to smaller localized areas within specific planning areas.

The OCP addresses broad city wide issues while the Area Plans and Sub-Area Plans address local neighbourhood issues.

Plan Precedence

If there is a conflict with respect to a land use designation between the OCP Generalized Land Use Map and Area and Sub-Area Plan Land Use Maps, the Area or Sub-Area Plan Maps shall take precedence with the exception of sites designated Conservation Area or Environmentally Sensitive Area (ESA) in which case readers should check Schedule 1 as it takes precedence over this plan.

Changes to this Document

This Plan may be amended from time to time. Please check with the City's Urban Development Division to make sure that this is an up-to-date version containing all of the adopted amendments.

Definitions

See OCP Schedule 1.

1.0 PLAN OVERVIEW

1.1 PURPOSE

The McLennan South Sub-Area is one of five medium-density residential neighbourhoods in the Southeast District of the City Centre. This plan applies to the area shown on the Plan Area Map, and provides the goals, objectives, policies and guidelines for development in this area.

The McLennan South Sub-Area Plan was adopted in 1996 and set the stage for the transformation of what was then a semi-rural single-family area into an important City Centre residential neighbourhood. The plan aims to respect many of the area's features, including its traditional single-family character and mature landscape, while providing opportunities for a variety of housing types, a new school, and a neighbourhood park.

Over the first seven years of the plan, sanitary and storm sewers were installed; land for a neighbourhood park and elementary school was acquired (including a designated area of heritage trees); new road right-of-ways were secured and existing roads were upgraded; and a number of townhouse projects were completed. Extensive redevelopment is still ahead for McLennan South and will include, among other things, construction of the neighbourhood park and school, the introduction of new single-family homes on smaller lots, traffic calming, and streetscape improvements. These changes and others, under the guidance of the Sub-Area Plan, will continue to shape McLennan South as it matures into one of Richmond's key City Centre residential neighbourhoods.

1.2 GOALS

The goal of this plan is to achieve a highly livable City Centre neighbourhood that maintains, enhances and improves the existing McLennan South quality of life, and manages change for the benefit of current and future residents by:

- a) Promoting a country-estate, human-scale residential character distinct to McLennan South as a neighbourhood predominantly oriented to families with children by:
 - Setting aside a large part of the neighbourhood for single-family houses only to preserve McLennan South's single-family history and encourage stability for established residents;

- Limiting development to 2½ to 3 storeys in height throughout most of the neighbourhood, except along Garden City Road and the western portions of Granville Avenue and Blundell Road where it may rise to 3 storeys over parking (e.g. a total of 4 storeys maximum as measured from the elevation of the adjacent street); and
 - Encouraging people-friendly, neighbourly housing compatible with McLennan South's country-estate character through Development Guidelines.
- b) Creating a lush, natural landscape to complement and continue McLennan South's unique natural environment in both public and private development by:
- Greening streets, boulevards, walkways and open spaces;
 - Creating a neighbourhood park which preserves landscape features, such as the heritage woodlot;
 - Retaining and replanting mature trees wherever possible; and
 - Creating Landscape Guidelines which promote a natural look characteristic of McLennan South, and limiting or avoiding a manicured look.
- c) Enhancing the sense of spaciousness, openness, tranquillity, and pedestrian safety through:
- A circulation system that provides more connections within the neighbourhood by building on the existing grid street pattern and avoids increasing traffic on existing streets;
 - The introduction of lanes and shared driveways in the multi-family areas to promote a continuous tree-lined streetscape uninterrupted by driveways;
 - The use of traffic calming devices to deter speeding and through traffic; and
 - Curb and lighting improvements to promote safety, walkability, and barrier-free movement.
- d) Enhance the ability of residents to conduct daily living activities in and around the neighbourhood by providing for access to and development of a range of community facilities and services, e.g. schools, daycare, convenience stores, etc.
- e) Improve the level of urban services and utilities by providing options for and facilitating utility improvements in development and non-development situations.

Bylaw 7876
2005/04/25



2.0 JOBS & BUSINESS

ISSUE:

Agricultural Land Reserve

As outlined in the Official Community Plan, the City is committed to protecting the community's supply of agricultural lands and to ensuring the viability of farm operations.

Areas, such as McLennan South, that abut the Agricultural Land Reserve can impact both the supply and viability of Richmond's farm lands. As such, developers in McLennan South should refer to the Policies, Objectives and Development Permit Guidelines for Agriculture outlined in Schedule 1 of the Official Community Plan.

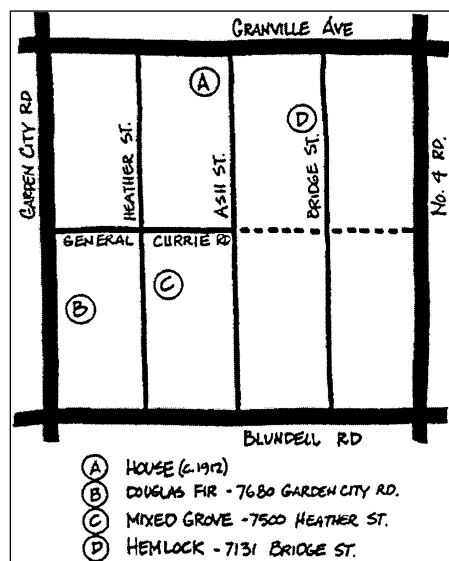
3.0 NEIGHBOURHOODS & HOUSING

ISSUE:

As a City Centre community with many older detached homes and large lots, McLennan South has significant redevelopment potential. It also has many unique assets which should not be sacrificed just for the sake of change. Thus, it is important to plan for housing in a way that builds on strengths while allowing some redevelopment paced to minimize disruption. While pursuing such a strategy, however, McLennan South's locational context, along with transportation and park initiatives, must also be considered. The housing objective and policies should balance these factors by: enhancing McLennan South's family orientation and neighbourhood stability; reinforcing its unique character; and respecting its locational context.

Family Orientation and Stability

McLennan South residents value the community's family orientation and its sense of community, based on stability and the presence of long-time residents. They have requested single-family, duplex/triplex and townhouse development to house families and preserve valued neighbourhood qualities. Residents also wish to pace change. Many of these aims will be realized through appropriate land use, density and building height policies. They will also be achieved through policies that support and enhance neighbourhood character.



Heritage resources

Source: "City Centre Area Plan Bylaw"

A Unique Character

Reinforcing McLennan South's unique character will be an important challenge for this plan. Residents were clear that urban residential development, which has a massive, block-scale apartment look with sparse landscaping, is contradictory to McLennan South's character, and have identified several *elements that distinguish their community* and give it a "country-estate" character. These include: *a single-family character; the combination of wide open spaces punctuated with dense vegetation; and buildings that nestle into, rather than dominate the landscape and the visual framing of homes by tall, mature trees.* Currently, many of these effects are facilitated through large back yards and 0.2 ha (0.5 ac.) lots, as well as ditch habitats. Another valued legacy is the existence of several stands of heritage trees with a heritage woodlot located in the area designated for park (see map).

Under an urban context and several physical limitations, this desired character is difficult to apply uniformly over the whole neighbourhood. Rather, the same fundamental relationship of building and landscape is achieved in smaller areas within the neighbourhood, with each area displaying a special quality based on its opportunities and constraints. The Residential Character Areas map in the Development Permit Guidelines section, shows the character areas which emerge out of this approach, with the Guidelines outlining them in further detail.

Overall, the emphasis on landscape and the integration of buildings into it, provides an image similar to the traditional New England or European village, where buildings are grouped around a central green and further surrounded by common fields and even wilderness. This image is helpful in creating a uniform character throughout the community, in preventing sharp distinctions between single and multiple-family areas, and setting an example for new single-family development which achieves a better transition between older, single-level bungalows and newer 2½ storey homes.

Locational Context, Parks and Traffic Initiatives

While reinforcing desired character elements, it is critical to ensure that they blend together. The elements should also complement and work with adjacent areas and features, and with other policy initiatives.

Neighbouring influences, acting as destination points, transition edges or highly visible intersections include:

- The proposed new community park immediately north of Granville Avenue with elementary and high schools, playing fields and passive recreation areas;
- The Agricultural Land Reserve east of No. 4 Road;

- The Garden City Shopping Centre just south of Blundell Road;
- The St. Alban's neighbourhood west of Garden City Road; and
- The corner of Garden City Road and Granville Avenue.

Parks and traffic initiatives that will influence McLennan South's character include:

- The introduction of new roads and lanes to create smaller blocks and facilitate development of new housing; and
- The creation of a 4.9 ha (12 ac.) neighbourhood park which incorporates a heritage woodlot, a passive recreation area, and a focal point through community uses such as an elementary school.

Under this context, supporting the desired character will require a strategy at the broad level of maximizing opportunities for open spaces and landscaping (using streets as linear greenways and visually expanding them through front yard setbacks, treating the public and private realms in a mutually reinforcing manner, retaining stands of mature trees, etc.), and, at a more specific level, refining the architectural and landscape characteristics to suit the smaller areas that result from changes in land use, role and site characteristics.

OBJECTIVE 1:

To provide a range of housing choices conducive to family living while reinforcing and enhancing the country-estate character, stability and strong community ties that exist in McLennan South.

POLICIES:

Family Orientation and Stability

Bylaw 7892
2005/04/18

- a) Help maintain stability and reduce pressure on long-time residents to leave the community. Retain a large area of single-family dwellings between Ash Street and Bridge Street (as per the "Land Use" map), by requiring:

New Single-family Lots Created through Subdivision

- Along Bridge and Ash Streets:

Large-sized lots (e.g. 18 m/59 ft. minimum frontage and 550 m² / 5,920 ft² minimum area).

- Elsewhere:

Medium-sized lots (e.g. 11.3 m / 37 ft. minimum frontage and 320 m² / 3,444 ft² minimum area), with access from new roads and General Currie Road.

Bylaw 7892
2005/04/18



Front Property Line Setbacks

- Single-family housing in the inner portion of the eastern half of the neighbourhood, characterized by 6 m (20 ft.) minimum front property line setbacks along all public roads.

Garage Doors

- Limiting garage doors to a maximum of 50% of the building width, or 4.9 m (16 ft.), whichever is greater, on street facing facades to ensure that garages do not visually dominate the streetscape.

Porches

- Provide incentives through zoning regulations to encourage front and rear porches, the integration of the garage with the house massing, and to promote traditional pitched roof forms.

- b) Encourage families and enable older residents to age-in-place by providing for a mix of housing types to accommodate a variety of households, especially for families with children. In addition to single-family, this mix will include the following housing forms:
- 3-storey townhouses over parking (to a maximum of 4 storeys as measured from the elevation of the adjacent street) along the outside edges of the western half of the neighbourhood;
 - A mix of 2, 2½, and 3 storey townhouses in the inner portion of the western half of the neighbourhood; and
 - Mixed clusters of single-family, duplex, and triplex housing forms in the eastern half of the neighbourhood.
- c) Recognize that affordability is a key issue for families with children, as well as many seniors. Promote the development of reasonably-priced and barrier-free housing. Take advantage of special opportunities provided by zoning, rezoning, density bonusing, public/private/non-profit partnerships, and the use of innovative approaches.

Unique Character

- d) Retain or reproduce elements that provide a "country-estate" quality. Establish distinct character areas within McLennan South, with each demonstrating one or more of these desired elements. Develop specific street setback and density requirements for each area, and, for multiple-family areas, establish Development Permit Guidelines to enhance each area's unique qualities.

- e) Create smooth transitions between character areas and their adjacent neighbourhoods through Development Permit Guidelines that address the following types of connection:
 - Borders with other communities, such as St. Albans or McLennan North;
 - Connections between character areas; and
 - Neighbourhood to park linkages.
- f) Unify desired character elements throughout McLennan South. Establish consistent street tree planting and greening schemes; create Development Permit Guidelines that reinforce the small scale appearance of all buildings throughout the community; and develop bylaws that limit front yard fences to low heights or prohibit them entirely.

Bylaw 8242
2008/04/21



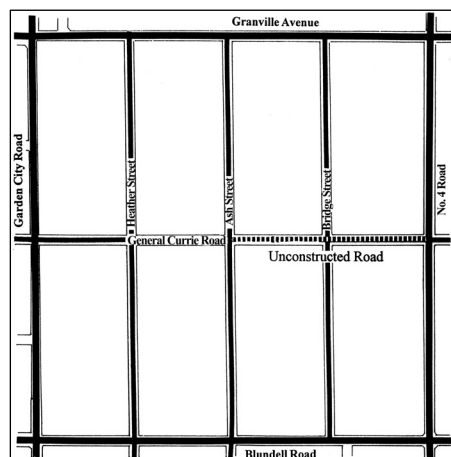
OBJECTIVE 2:

To encourage new townhouse and multi-family developments of sufficient site assembly size, including area and frontage, to support high quality development.

POLICIES:

- a) Provide opportunities for adjacent underdeveloped sites to redevelop in the future in accordance with the Area Plan and to avoid the creation of isolated (orphaned) lots with reduced development potential;
- b) Allow for the orderly and timely completion of the Sub-Area road network;
- c) Ensure that traffic impacts are minimized and access to adjacent properties is provided; and
- d) Provide a recognizable benefit to the area, such as enhanced access and tree retention.

4.0 TRANSPORTATION



1996 road network

ISSUE:

Getting to and from McLennan South, and moving around within the community is relatively convenient. The community is bounded by four major roads (Granville Avenue, Blundell Road, Garden City Road, and No. 4 Road). It is accessed internally by three north-south roads (connecting to Granville Avenue and Blundell Road) and one east-west road (connecting to Garden City Road). Residents can access transit service to Vancouver at bus stops on Garden City Road. However, vehicle and pedestrian mobility could be enhanced. For example, the community's local streets are very narrow and, under current conditions, can be awkward and potentially hazardous for strolling pedestrians, cyclists and wheelchair users. Many vehicles use the quiet residential streets to bypass difficult intersections along major arterial roads, posing noise and safety problems for neighbours. East-west connections in the neighbourhood are poor. And, while transit access to Vancouver is available nearby, access to other parts of the City Centre and elsewhere in Richmond is still limited.

This plan proposes to improve circulation in McLennan South by strengthening connections; establishing the street network to promote good community design and interaction in an enhanced pedestrian environment; and reducing the need for, and physical impact of the automobile.

OBJECTIVE 1:

This plan proposes to improve circulation in McLennan South by strengthening connections; establishing the street network to promote good community design and interaction in an enhanced pedestrian environment; and reducing the need for, and physical impact of the automobile.

POLICIES:

General Improvements to Circulation in McLennan South

- a) Establish a road network in McLennan South as per the “Circulation Map” to facilitate development as encouraged under the “Land Use Map”, limit reliance on Heather, Ash, and Bridge Streets, create pedestrian-scaled blocks, and enhance access for residents, via vehicle and on foot, to neighbourhood amenities (i.e. park, school, etc.) and other destinations.

Bylaw 7876
2005/04/25



Bylaw 7876
2005/04/25

New roads may deviate from the “Circulation Map” (e.g., without amending the “Circulation Map” diagram) where the proposed changes:

- Do not result in significant traffic impacts on or compromise access to adjacent properties;
- Do not result in a significant net increase in the amount of new road envisioned under the “Circulation Map” (e.g., new east-west roads from Bridge and Ash to access the back lands will only be permitted where a similar amount of north-south new road can be eliminated);
- Result in a coherent pattern that maintains the intended pedestrian-scale of the area’s blocks and facilitates pedestrian and vehicle circulation in a manner that is consistent with the neighbourhood’s intended residential character; and
- Provide a recognizable benefit to the area (i.e. enhance back land access, facilitate development, retain trees, etc.).

Using Streets to Promote Good Urban Design


- b) Recognize that streets play an important role in urban design by establishing the size of city blocks, creating view corridors, and providing space for residents to walk and gather informally. Retain the grid system currently in place to create view corridors and a sense of openness; and foster the development of smaller blocks to create a more human scale built and pedestrian environment.
- c) Use streets to help reinforce a sense of community and neighbourhood identity. Develop a street character concept with modest pavement widths, varying sidewalk and boulevard treatments depending on the size and function of the street.

Managing the Car

- d) Develop a program to reduce speeding and manage traffic flow on local and collector streets.
- e) Reduce the visual impact of the car on the appearance of the streetscape and residential livability by:
 - Concealing parking from the street (e.g. locate carports and surface parking behind dwellings, reduce the width of garage doors on principal facades);
 - Limiting the size and number of driveways (e.g. through the use of shared driveways, lanes, maximum driveway widths);

Bylaw 7876
2005/04/25

Bylaw 7876
2005/04/25

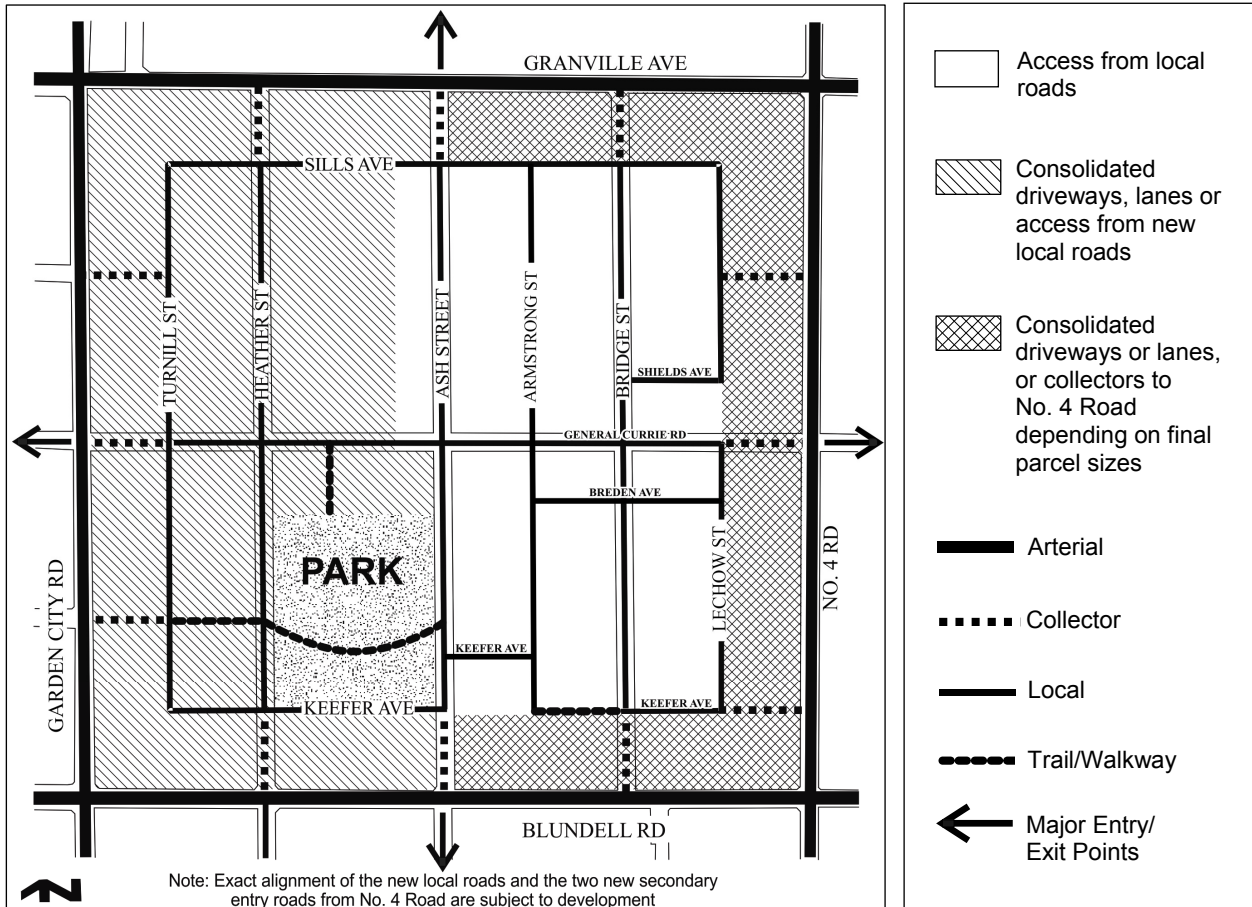
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- Limiting vehicle access to Sills and Keefer Avenues and Le Chow Street, east of Ash Street, to single-family lots, except where access to a multiple-family development will have negligible impact on adjacent single-family properties and will result in a recognizable community benefit (i.e. tree retention, increased on-site open space and/or green landscaping); and
 - Limiting vehicle access to multiple-family developments along the east side of Le Chow Street (and west of No. 4 Road) to:
 - i) General Currie Road;
 - ii) The two roads that link Le Chow Street with No. 4 Road and run parallel to General Currie Road; and
 - iii) Shared driveways opening directly onto No. 4 Road, with the number of such driveways not to exceed one per city block (e.g., a maximum of four driveways between Granville Avenue and Blundell Road).

Improve Mobility Choices and the Experience of Non-Automobile Users

- f) Provide sidewalks and greenways including special landscape strips with clusters of many different trees and plants to keep the natural look and avoid a manicured look.
- g) Enhance the presence of nature that can be enjoyed by non-vehicular travellers (as well as those in cars).
- h) Ensure safe connections to other communities and to neighbouring schools by providing crosswalks at major arterials as required, through the City's Annual Crosswalk Program.
- i) Enhance access for people with disabilities and pedestrians with special needs (e.g. child strollers) by providing wheelchair ramps at intersections, designed to standards specified in the City Centre Area Plan.
- j) Continue to provide good transit service to Vancouver, and support the City Centre Area Plan policy of encouraging the eventual provision of light rapid transit access from Richmond to Vancouver.
- k) Improve local transit service by encouraging BC Transit to provide mini-bus service from McLennan South to McLennan North and other City Centre destinations. Ensure that road standards of potential routes are developed to the required standard for accommodating mini-buses, and transit stops are designed to be user-friendly with particular attention for people with disabilities.

- 1) Encourage cycling as a means of travel by calming automobile traffic within McLennan South and supporting the City Centre policies and programs for bicycles.

Circulation Map *Bylaw 8803
2011/10/17*



5.0 NATURAL & HUMAN ENVIRONMENT

ISSUE:

The natural environment and parks are the building blocks of a livable community, and an important ingredient in creating a strong neighbourhood character.

The natural environment plays a critical role in community health. Plants and trees act as the lungs of a community, filtering out air pollutants, and they provide bird and insect habitats. In McLennan South, nature also helps to define the community, and set it apart from neighbouring areas. This plan aims to keep and enhance McLennan South's natural features to promote environmental health and enhance community identity.

Parks provide space for residents to walk, play and gather; they can help reinforce local character and become community focal points, and they can also provide opportunities for retaining treasured natural features. The McLennan South Plan aims to provide a neighbourhood park up to 4.9 ha (12 ac.) in size, which will include a large area of heritage trees and provision for an elementary school site of up to 1.6 ha (4 ac.).

OBJECTIVE 1:

To maintain and enhance McLennan South's informal style of natural features and open spaces in a way that promotes environmental health and strengthens community identity.

POLICIES:

Enhancing the Presence of Nature

- a) Keep McLennan South's streetscapes green:
 - Edge all streets and paths with greenery so they continue to function as "greenways"; use varied landscape treatment (e.g. single row of trees, double rows of trees, informal clusters of trees and plants) to complement the street function and local character;

- Visually embellish greenways through complementary treatment of front yard landscaping on multiple-family properties. Frame buildings with plants and trees; encourage the use of building filigree (embellishing building facades with climbing plants such as ivy or clematis); and vary the treatment of front setbacks and yards according to the specific requirements of individual character areas (refer to Section 4.0); and
 - Reduce the presence of asphalt driveways; where driveways occur, promote alternative paving materials, planting, and site planning to visually integrate the driveway into the streetscape.
- b) Augment public greenways through a variety of strategically-located Privately-Owned, Publicly-Accessible Open Spaces (POPAS) to create and preserve natural landscape features, focal points, and walkways. Along the ring road, use existing mature vegetation to determine appropriate locations of POPAS
 - c) Generally promote tree retention and planting in townhouse, duplex and triplex developments, and require greenspaces that mimic desired qualities of single-family back yards. These qualities include openness, combined with natural and semi-private spaces, and selective planting of taller deciduous and conifer trees. Along arterials, heavy landscaping is promoted in front yards to reinforce McLennan South's character and identity.
 - d) Encourage residents of the large single-family area to retain and enhance vegetation in their own back yards.
 - e) Create and preserve green spaces as natural habitat areas throughout the neighbourhood, and promote the use of native plant materials.

Park Provision

- f) Provide a neighbourhood park, approximately 4.9 ha (12 ac.) in size, in the southwestern part of the neighbourhood, and preserve the existing heritage woodlot as a natural habitat area within the park. Strive to enhance the natural habitat function in the rest of the park.
- g) Develop the more northern, roughly two-thirds of the park primarily for passive recreational use, and the remainder for active community use, including an elementary school.
- h) Make the neighbourhood park open to the street (not hidden behind buildings) along its east, west and south edges to enhance safety and the community's sense of open space. Separate passive areas of the park from housing and structures, such as schools, using complementary landscape treatments, including walkways.
- i) Encourage pedestrian connections to the park. Connect multi-family areas to the park using walkways.

6.0 COMMUNITY FACILITIES & SERVICES

ISSUE:

McLennan South is situated within walking distance of a range of community facilities and services including City Hall, the Library and Cultural Centre, Richmond Centre Mall, and commercial services along No. 3 Road; the new community park in the McLennan North neighbourhood just north of Granville Avenue containing new elementary and high schools, as well as playing fields; the church at Heather Street and Granville Avenue; and the Garden City Shopping Centre immediately to the south at Blundell Road. As a result, the plan only provides for a single convenience commercial site, to be situated along Garden City Road. As the neighbourhood grows to capacity, an elementary school will be needed, and can be accommodated on the southern 1.6 ha (4 ac.) of the 4.9 ha (12 ac.) park site. In the meantime, McLennan South children will attend surrounding schools (Anderson, Debeck, Garden City, and General Currie) and the plan will promote safe connections to them.

In a neighbourhood friendly to families with children, daycare is an important community resource. The Richmond Childcare Needs Assessment Report (July, 1995) recommends that affordable childcare facilities responsive to community needs be developed in neighbourhoods such as McLennan South.

As McLennan South evolves into a distinct City Centre neighbourhood with its own population characteristics, provision of services, such as health and safety should be tailored to the community.

OBJECTIVE 1:

To ensure a range of community facilities and services tailored to community needs are made available within and around the neighbourhood.

POLICIES:

Childcare

- a) Promote the development of childcare facilities that is affordable, responsive to the community's needs, and complies with Provincial Childcare Regulations. Use density bonusing and partnerships with non-profit and private sector organizations.

Schools

- b) Encourage the Richmond School Board to include the needs of McLennan South school children in its planned school capacity, with the ultimate objective of an elementary school within McLennan South itself.
- c) Improve connections and traffic safety measures between McLennan South and the surrounding elementary schools.

Amenity Space

- d) Encourage the provision of private amenity space generally and a minimum of 464.5 m² (5,000 ft²) of community facility space close to the neighbourhood park.

Health

- e) Encourage the Richmond Health Board to establish community-based health services tailored to the neighbourhood population characteristics.

Safety

- f) Promote community-based crime prevention, emergency preparedness and community watch programs in the neighbourhood.

Library

- g) Encourage the Richmond Public Library Board to provide library services to keep pace with the neighbourhood's development.

Church

- h) Retain the church at Heather Street and Granville Avenue.

Commercial Services

- i) Allow convenience commercial services to be situated along Garden City Road, at the intersection of Granville Avenue and/or General Currie Road, provided that the commercial use:
 - Is no more than 375 m² (4036.6 ft²) in size, per development;
 - Is located at grade;
 - Fronts on to an arterial road;
 - Enhances community identity and amenity with neighbourhood-oriented uses, e.g. convenience store; and
 - Enhances local residential character.
- j) Retain the neighbourhood pub at Garden City Road and Blundell Avenue.

7.0 CITY INFRASTRUCTURE

ISSUE:

When the McLennan South Sub-Area Plan was adopted, it was one of the few urban areas in Richmond still serviced by septic tanks and ditches. A major objective identified by the community through the planning process was the provision of sanitary and storm sewers. Since then, these services have been provided to all of the area's existing properties, and are being extended, as required, to new development as it proceeds.

In addition, through the planning process it was noted that area residents have experienced storm water drainage difficulties, particularly when new houses are built next to existing ones. This situation is not uncommon in Richmond, but it can be more noticeable in areas such as McLennan South that have peat soils. Drainage can, however, be improved by installing perimeter drainage on individual properties.

OBJECTIVE 1:

Residents have experienced storm water drainage difficulties, particularly when new houses are built next door. Overall, storm water drainage is affected by ground water level conditions throughout Lulu Island. However, in McLennan South where peat soils are present, drainage can be improved by installing perimeter drainage on individual properties.

POLICIES:

Sanitary Sewers

- a) Provide pump stations and forcemains as the basic infrastructure necessary to facilitate a sanitary sewer system in the neighbourhood.
- b) Require the installation of sanitary sewers with new development.
- c) Install sanitary laterals to facilitate sanitary sewer hook-ups for the historic single-family area in conjunction with reconstruction of existing roads (Ash Street and Bridge Street).
- d) Cost-share with developers to provide sanitary sewers for single-family houses (located in multi-family areas) close to new development sites.
- e) Facilitate the provision of sanitary sewers through Local Improvement Programs initiated by private property owners.

Other Utilities

- f) Require the provision of the full range of urban utilities and services with new development.
- g) Provide for full upgrading of the existing roads (Heather Street, Ash Street, Bridge Street, and General Currie Road), with funding from the City's existing Development Cost Charge Program.
- h) Promote the undergrounding of utility wires and cables.
- i) Encourage construction techniques that minimize negative impacts on neighbours.
- j) Continue to require the installation of perimeter storm water drainage on individual properties with new development, and promote the benefits of having a functional perimeter storm water drainage system for all properties.

8.0 DEVELOPMENT PERMIT GUIDELINES

8.1 APPLICATION & INTENT

8.1.1 DEVELOPMENT PERMIT AREA

This section contains Development Permit Guidelines which apply to the McLennan South sub-area in the City Centre Planning Area.

The purpose of the guidelines is to supplement the City Centre Area Plan Guidelines and the City-wide guidelines contained within the OCP with specific guidelines aimed at supporting a special character within the McLennan South area.

It is intended that these guidelines be used in conjunction with the City's more general Development Permit Guidelines located in the OCP (Schedule 1 of this Bylaw).

Neither set of guidelines requires literal interpretation, in whole or in part. They will, however, be taken into account in consideration of Development Permit applications, and the Development Permit Panel may, at its discretion, refuse or require modification to an application for failure to meet the spirit of these guidelines and/or the standards they prescribe.

Exemptions to the Development Permit process can be found in the OCP (Schedule 1 of the Bylaw).

8.1.2 JUSTIFICATION

It is the intent of these guidelines to support the goals, objectives, and policies of the McLennan South Sub-Area Plan aimed at the creation of a distinct, high-amenity, City Centre residential neighbourhood. The scope of proposed redevelopment merits site-by-site consideration of form and character in order to achieve this objective.

8.2 GENERAL DEVELOPMENT PERMIT GUIDELINES



Front yard landscape features create a transition

8.2.1 SETTLEMENT PATTERNS

- a) Promote the development of a green, human-scaled residential community with a “country-estate” character, focussed around a local park.

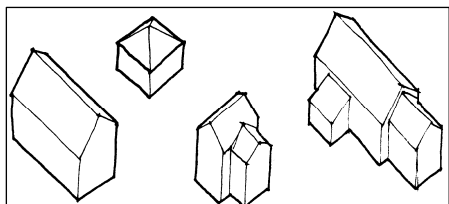
Bylaw 8242
2008/04/21



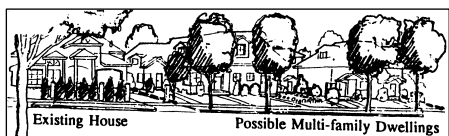
- b) Promote the development of distinct character areas within the McLennan South neighbourhood related to the various location-specific housing types and forms encouraged by the plan.
- c) Ensure that the scale and form of McLennan South's character areas are complementary and that the transitions between character areas are attractively managed through the use of shifts in building scale, form, height, setbacks, and special landscape features and treatments.
- d) Encourage new townhouse and multi-family developments of sufficient site assembly size, including area and frontage, to support high quality development. To achieve this goal, new townhouse and multi-family development sites should:
 - i) Along major arterial roads – Incorporate a minimum frontage width of 50 m and a minimum lot area of 2,000 m² (0.5 ac.);
 - ii) Along local or collector roads - Incorporate a minimum frontage width of 40 m and a minimum lot area of 2,000 m² (0.5 ac.);
 - iii) Avoid creating orphaned assembly sites with minimum frontages and minimum lot areas less than those established above; and
 - iv) New development may deviate from the minimum site assembly sizes where:
 - An existing lot is isolated (orphaned) and is not able to consolidate with adjacent properties (e.g., surrounding lots recently developed in accordance with Area Plan designation);
 - It can be demonstrated that high quality development can be achieved in full compliance with Area Plan Policies, Objectives and Development Permit Guidelines;
 - Access along the frontage is not required (e.g., access is provided from a City lane or Right-of-Way or through a registered cross access through an adjacent site), and the proposed development will promote a high quality pedestrian environment along the fronting street;
 - The development supports the orderly and timely completion of the Sub-Area road networks; and
 - The proposed development provides a recognizable benefit to the area, such as enhanced access and tree retention.



Tall coniferous trees provide a year-round backdrop for residences



Vary the design to include more than one building form or scale on each site



A smooth internal conversion can be achieved by using typical single-family forms and massing in the design of new multi-family dwelling



Recessed balconies

8.2.2 MASSING & HEIGHT

- a) Promote a single family-residential scale and character throughout the neighbourhood, and continue the legacy of buildings nestling into, rather than imposing or intruding on, the landscape through the appropriate treatment of building elements, materials, and hues.
- b) Achieve a smooth transition as McLennan South redevelops through the use of typical single-family forms and massing in the design of new multi-family dwellings.
- c) Use distance and green landscape to soften the transition between different housing forms, including:
 - Where this transition occurs along the ring road, wider setbacks; and
 - Along entry roads, local streets, and rear yards, setbacks of 6 m (19.7 ft.).
- d) The apparent scale of multi-family developments should be reduced in a number of ways, including:
 - Vary the design to include more than one building form on each site, sharing common architectural elements, especially for developments of 10 or more units;
 - Break up the apparent length of individual buildings by creating smaller components that express strong unit identity with direct grade access;
 - Reduce the apparent height of buildings with architectural treatment that promotes recognition of individual storeys and avoids the appearance of sheer blank walls. Such treatment might include (but is not limited to) the use of: trim; more intense colour accents; secondary roof elements; building recesses; and stepped building forms emphasizing lowered height on ends with fronts; and
 - Large projecting balconies are not permitted along the streetfront, as they emphasize building bulk. Recessed balconies will be permitted in some specified character areas.

8.2.3 ARCHITECTURAL ELEMENTS

Roof Treatment

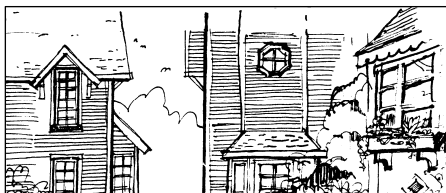
- a) As extensive landscaping is encouraged, the roofscape will become one of the more noticeable building elements. To address this, create a varied roofscape with an emphasis on pitched roofs:
 - Pitched roof peaks (recommended slope of 2:1), should be visible from the street, with flat elements hidden from street view;



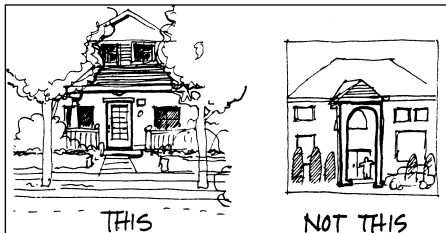
Create varied sloped – roof forms with frequent additive elements such as gables and dormers



Prominent main entries



Windows should be residential scale



Residential entries should be visible from the sidewalk, at grade, and be part of a single-storey element

- Decorative elements close to the roof should emphasize and complement the roof pitch visible from the street;
- Where appropriate, but particularly for buildings over two-storeys, the roof pitch can be re-emphasized at the ground floor level with secondary roofs over entrances and/or other openings; and
- Roofing material should emphasize natural or west-coast produced materials, such as cedar. Metal roofs are discouraged and the use of roof tiles should be avoided.

Windows

- b) Windows should be operable, of residential scale, with multiple panels, and should add to the sense of neighbourliness, safety, and security by providing visual interest and surveillance:
- Reinforce the smaller components of buildings which express strong unit identity through appropriate window placement;
 - Use bay windows, window boxes, small balconies, and similar features to avoid a flat, box-like building;
 - Windows, used singly or in combination, should be apparent at eye level and should be clear-glazed (untinted) to reinforce the sense of surveillance over the street;
 - Windows should be visually prominent, separated from the building face and defined with colour, trim/shutters, or other decoration; and
 - Traditional window treatment should be used where visible from the street. Skylights, plastic bubble windows, tinted glaze, and other non-traditional windows, should not be used in prominent locations on the buildings that are visible from the street.

Entrances

- c) In McLennan South, entrances should be used to reinforce and achieve a human-scale and pedestrian-friendly environment. Individual developments should have:
- Front doors with direct grade access to reinforce unit identity, which should be accessible to disabled persons;
 - Entrances recognizable and clearly visible from the street;
 - Architectural treatment of unit entrances should reinforce proximity to grade level and avoid two-storey features; and

- Except for units fronting arterials, exterior staircases visible to the street should be minimized to reinforce direct grade relationship of dwellings.

Materials

- d) In keeping with the McLennan South approach of nestling buildings into, rather than intruding on the landscape, materials used should be high-quality, with an emphasis on natural materials, such as wood and stone.
- Natural materials are preferred, however, alternative materials can be used, providing that they replicate a high quality, natural look; however, trim should still be wood; and
 - Materials which are obviously synthetic (e.g. plexiglass, glass block) should not be used on the exterior of buildings and other structures.

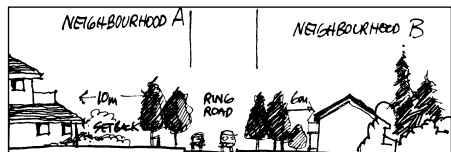
Colours

- e) Colour plays an important role in defining the building and its features, contributing to the look and scale of the streetscape and, in McLennan South, blending into the naturalistic landscape:
- Muted colours (as in the "heritage series" of many paint manufacturers) which complement natural materials should be used;
 - Unless otherwise specified for a particular sub-area, colours, covering large expanses of building surface (e.g. 50% or more) which draw attention to the building, are to be avoided;
 - Intense colours can be used as accents to emphasize openings, layering, or detailing in a sensitive manner; and
 - Colour can be varied to visually reinforce the creation of smaller components or to reduce the apparent width or height of a building.

8.2.4 LANDSCAPE ELEMENTS

Entries

- a) Use front yard landscaping features to create a sense of transition between neighbourhoods that face each other across a street, particularly where the adjacent neighbourhood is a single-family neighbourhood. Appropriate features might include (but would not be limited to): roofed pedestrian entry portals; trellises; and small entry courts edged with ornamental trees, shrubs and plants. There should be no locked vehicle or pedestrian gates. Parking garages may be secured by a keyed, monitored entry-gate system.



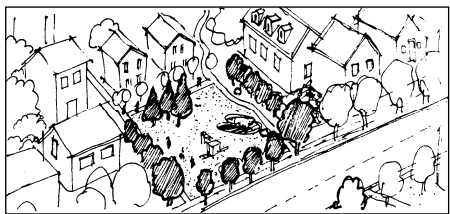
Setbacks and landscaping provide transition between neighbourhoods



Landscaping can screen private yards and low fences can define the edges of front yards



Preserve woodlots



*Plan open spaces and walkways with landscaping **FIRST**, then group buildings around the spaces*

Fencing and Common Open Space

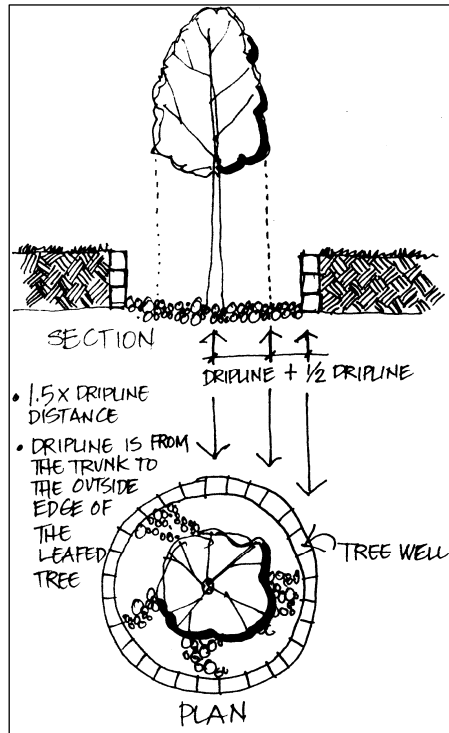
- b) Fencing between adjacent development parcels is generally not encouraged. Rather, these areas should be treated as semi-public access walkway or shared common open space. Along rear yards that do not face a street, fencing up to 1.5 m (4.9 ft.) in height is generally permitted if set back 2 m (6.6 ft.) or more from the property line. In front yards and some side yards, fencing is specific to character area. Generally, front fencing is permitted up to 1 m (3.3 ft.) and side fencing, where permitted, may reach up to 2 m (6.6 ft.) in height, but should not extend into the front yard.

Tree Preservation and Planting

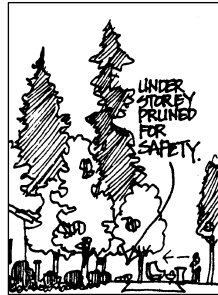
- c) Sustain and enhance McLennan South's distinct landscape by preserving woodlots and hedgerows containing mature trees and under-storey vegetation, particularly where opportunities exist for this vegetation to frame new buildings.
- d) Create a continuous sense of lush vegetation by balancing deciduous species with evergreen vegetation in a manner that promotes the creation of wildlife habitat using native plant material.
- e) Plan open spaces and walkways with landscaping first, then group buildings around the spaces. A detailed survey of existing trees and vegetation should be conducted following the requirements set out in the City of Richmond's Bulletins, "Tree Survey Guidelines for Rezoning", "Subdivision and Non-ESA Related Development Permit Applications" and "Protection of Existing Trees During Construction".
- f) Provide tree wells and/or creative grading of the ground away from vegetation to facilitate retention of existing trees and woodlot/hedgerow vegetation.
- g) Where tree wells are to be constructed, these tree wells should be a minimum distance of 1.5 times the distance from the trunk of the tree to the drip line.

Common Open Space

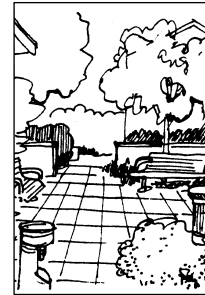
- h) Special effort should be taken to create and coordinate the retention of contiguous existing mature vegetation on adjacent properties.
- i) Privately-Owned, Publicly-Accessible Open Spaces (POPAS) are encouraged at highly visible locations, such as intersections and the vicinity of the park, as well as to preserve significant stands of mature trees and vegetation.



Three Different Types of POPA's



Existing vegetation



Urban amenities



Play areas

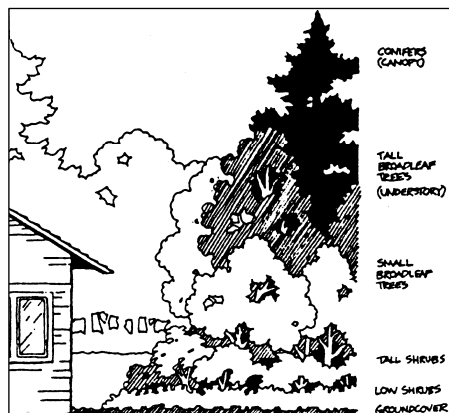
- j) Private residential front yards should be landscaped to ensure that those spaces are usable and practical, while also enhancing the streetscape of the neighbourhood.

Retaining Walls

- k) Where permitted, retaining walls at street level should be no higher than a maximum of 1 m, except where it also acts as a tree well to retain mature trees.

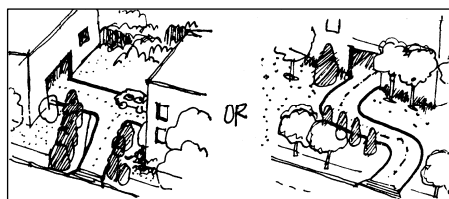
Water and Habitat

- l) Wherever possible, landscape plans should enhance, expand or create wildlife habitat such as ponds, wetlands, native aquatic and terrestrial plants, and hedgerows. Traditional Richmond peat bog plants are recommended. Refer to Caring for Wildlife at Home by Naturescape B.C. (1995), and the Richmond Environmentally Sensitive Area Criteria Manual.



Edges, where one type of habitat meets another

Source: Naturescape BC – Caring for Wildlife Habitat at Home



Parking garage entrances should be screened by careful site planning and landscaping

8.2.5 PARKING & SERVICES

- a) Any hard surface area, including building footprint and driveways, should be planned and designed to maximize retention of existing woodlots or specimen trees. Existing mature trees and vegetation corridors should be incorporated wherever possible, into the design of external streetscapes and internal private landscapes.
- b) Promote the use of lanes for vehicular access to properties. Where lanes are not provided, screen parking entrances from street view through the use of strategically placed trees, shrubs, trellises and other appropriate landscape elements, alternate paving materials (e.g. stamped concrete grey pavers) rather than asphalt should be used to soften the visual impact of driveways.
- c) Driveway access to arterials or entry roads is discouraged.

8.3 ADDITIONAL DEVELOPMENT PERMIT GUIDELINES: CHARACTER AREA GUIDELINES

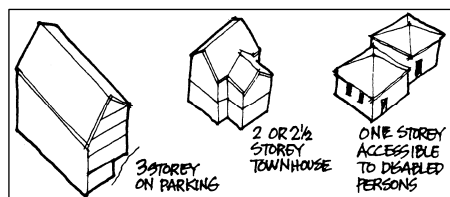
The McLennan South Sub-Area contains a number of “character areas” related to the various location-specific housing types and forms encouraged by the plan. The purpose of these additional Development Permit Guidelines is to provide supplemental guidance in the development of each area. The Character Area Key Map at the end of this document shows the boundaries of each area and the area name corresponding to the relevant Character Area Guidelines.

8.3.1 NEIGHBOURHOOD A

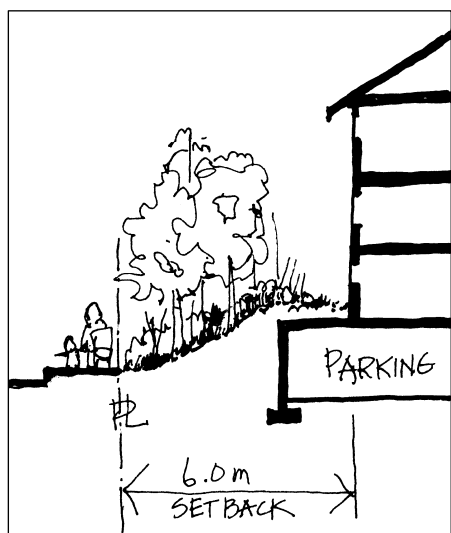
Neighbourhood Character

This neighbourhood is expected to consist of three building types:

- Three-storey townhouse dwellings situated on top of covered parking;
- Two or 2½ storey townhouses; and
- One or two-storey grade-level units (universally accessible to disabled persons).



This neighbourhood is expected to consist of three basic dwelling types

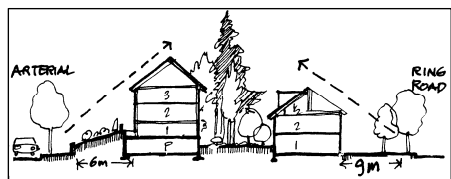


Bermed landscaping to conceal parking and help reduce scale of building

Neighbourhood A provides a village aspect, comprised of the community's more intense clusters of family-oriented homes. It also includes a densely wooded component, reinforcing the strong connection with nature. These two elements are combined in a way that blends the built form with the landscaping instead of dominating it, so that landscaping and greenways become a focus.

Intent of Specific Guidelines

- a) To reinforce and make apparent the neighbourhood's village-like and wooded qualities.
- b) To address the challenges posed by:
 - The higher permitted densities contrasted with the need to achieve both a strong landscaping element, as well as compatibility with the single-family character desired by residents;
 - The need to create a sense of entry; and
 - The need to complement the St. Alban's edge of Garden City Road while contributing to McLennan South's unique overall identity.
- c) To ensure that Neighbourhood A blends with the other McLennan South neighbourhoods.



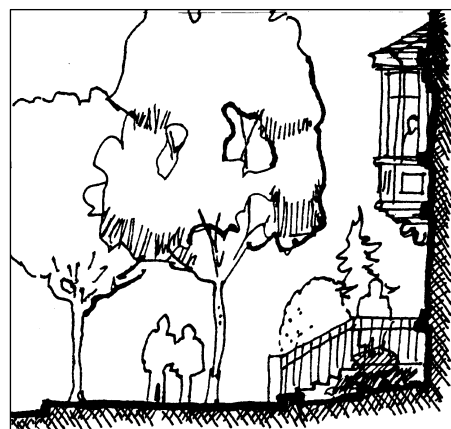
Street setback (yards) and height step-backs help provide a transition



Screen neighbourhood pub with hedge and fence



To create a sense of transparency, provide spaces between buildings



Provide exterior staircases to the first habitable level

8.3.1.1 SETTLEMENT PATTERNS

- a) Provide a 6 m (19.7 ft.) setback from the property line along all arterial roads.
- b) Conceal parking structures along arterial roads through earth berming, and landscaping on the bermed portion.
- c) Create a smooth transition to Neighbourhood B1 by providing a 9 m (29.5 ft.) front setback along the ring road, and by providing a height step-back. Front entries and living space are to be provided in the two-storey portion shown in the diagram. Parking structures will not be permitted within 16 m (52.5 ft.) of the ring road.
- d) Create a smooth transition to Neighbourhood C2 by providing a height step-back (see illustration). Parking structures will not be permitted within 13 m (42.7 ft.) of the entrance roads from Garden City Road.
- e) Provide a smooth transition to the neighbourhood pub. Screen from adjacent properties with a combination of hedging (minimum 2 m (6.6 ft.) width) and fencing. Ensure that lighting does not impact adjacent properties.

8.3.1.2 MASSING & HEIGHT

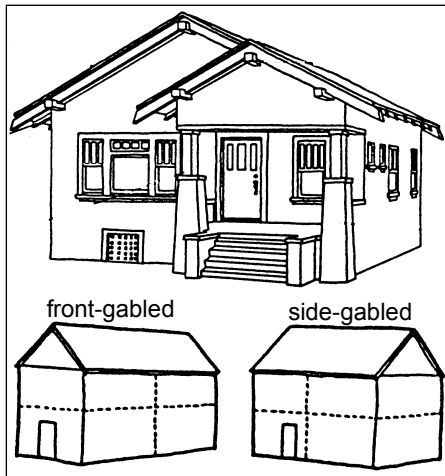
- a) Prevent overshadowing and domination of the built environment over the natural realm. Along all streets, provide a minimum space of 4 m (13.1 ft.) between buildings to create a sense of transparency on private property. Further heighten that transparency, and break up the building facade by limiting maximum building width to 45 m (147.6 ft.), and recessing large buildings (over 20 m (65.6 ft.) wide) approximately every 8 m (26.2 ft.), to a width of 2 m (6.6 ft.) and a depth of at least 2 m (6.6 ft.). Landscape features should be placed within or in front of the recess.

8.3.1.3 ARCHITECTURAL ELEMENTS

Entrances, Porches, Stairs

- a) Strengthen the relationship between dwellings and the streetscape along arterial roads by providing exterior staircases up to the first habitable level. At least one staircase on each site should lead directly to the street level.
- b) The pattern and style of staircases and accents provide desired opportunities for varied and creative expression. Such staircases should enhance individual buildings and should be accented with traditional materials, such as natural wood or iron railing. More contemporary accents, such as polished metal, may also be considered in certain contexts.

- c) Along arterials only, where earth berming has been used, staircases may project into the front setback, provided that the steps are made of stone or concrete and are designed to blend into the berm. There should ideally be at least 5 m (16.4 ft.) between staircases.



Balconies, Patios (Private Open Space)

- d) As a general rule, balconies are discouraged; however, along arterial roads, balconies are encouraged in recessed form on the third habitable storey.

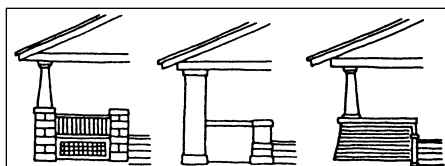
Materials

- e) The use of brick is discouraged, and the use of stucco should be minimized. Also see General Architectural Guidelines.

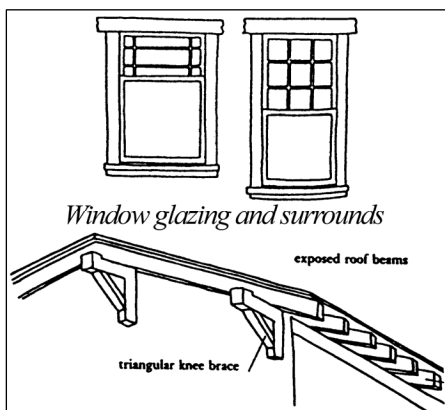
Heritage Building Form

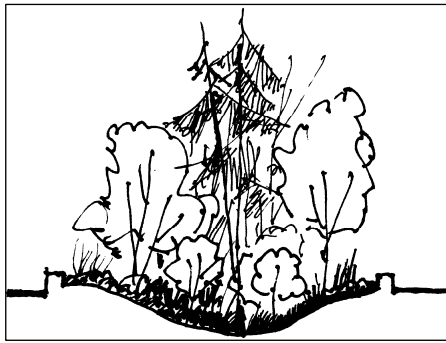
- f) Neighbourhood A contains a heritage-listed dwelling at 7011 Ash Street, near the intersection of Granville Avenue and Ash Street. Developments which encompass this house, or are nearby, should be designed in a manner which is compatible in form and character to the heritage building. Specifically, development should emulate the craftsman style bungalow, which includes the following identifying features:

- Simple box massing finished with wood shingles or narrow horizontal clapboard;
- Roof forms that are end gabled or, where cross-gabled, with a large central dormer. Roofs should be of moderate to steep pitch, and over-emphasized through the use of large overhangs;
- Simple voids and projections to enliven the basic box, without subordinating the original wall plane. These could include inset or projecting porches, either full or partial width, with a roof supported by solid bases and square columns at the corners. Column bases may continue to ground level without a break at the porch floor level;
- Limited amounts of window area relative to wall and simple rectangular shapes. Window placement on the front facade should be geometrically ordered. Doors should be panelled with windows and may be flanked with entry sidelights; and
- Decorative detailing expressed in the wood trim and structural elements. Provide emphasis by exposing elements and contrasting their colour. Such elements might include: roof joists, heavy beam and columns in porch structure, heavy balustrades and window casing frames and mullion balustrades.

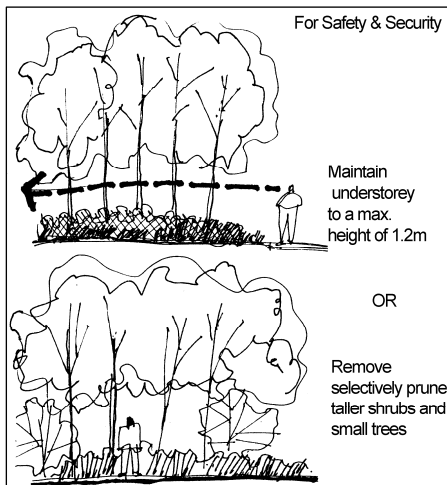


Some typical porch supports and porch railings

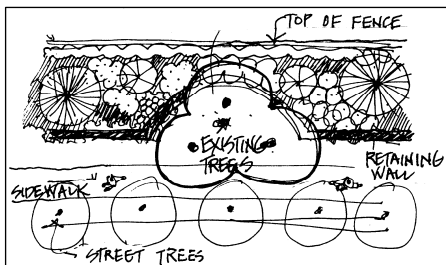




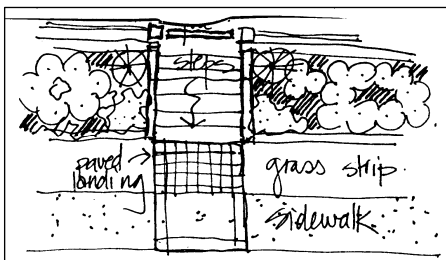
Retain and enhance small islands of natural areas



POPA's Made Up of Natural Areas



Retaining wall adjusting for existing trees



Retaining wall with steps

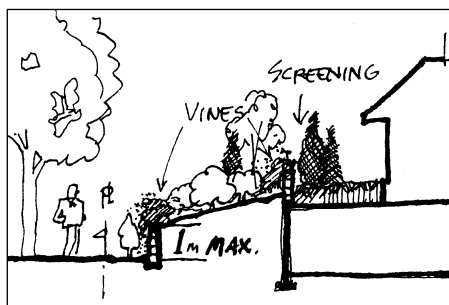
8.3.1.4 LANDSCAPE ELEMENTS

Plant Materials and Open Spaces

- a) Large growing evergreen trees should be irregularly spaced at not more than one per each 20 m (65.6 ft.) of frontage on Garden City Road and the ring road.
- b) Plant a minimum of 60% of the landscape with evergreen plants, including trees, shrubs and groundcover. Group plantings in masses except where creating or retaining woodlots and hedgerows. Use vegetation to accent exterior staircases and integrate them with other landscaping on the property.
- c) For seasonal effect, plant masses of flower bulbs that naturalize and need minimum maintenance, such as crocuses, snowdrops and daffodils.
- d) Driveways along the ring road should be lined with tall columnar trees or shrubs.
- e) Ensure that windows and doors remain visible from the street and are not hidden by vegetation.
- f) Soften buildings along the street edge by using filigree, such as climbing ivy, clematis, or forsythia.
- g) A special effort should be made to create Privately-Owned, Publicly-Accessible (POPA) amenity areas along the ring road where existing stands of mature trees or woodlots exist. To ensure safety and security, ensure that sitelines are created through any cluster of tall growing vegetation by selective and judicious pruning of shrubs or multi-stemmed trees and by keeping all other understorey to a maximum 1.2 m (3.9 ft.) in height.
- h) Wherever possible, plant tall columnar trees in side yards.

Along Arterial Edges:

- i) To prevent the appearance of buildings dominating the landscape, a general facade of densely layered vegetation is critical in this neighbourhood, particularly along arterial roads where setbacks are shallower and heights are greater. To provide a consistent pattern for landscaping on private property, create a framing effect in the following manner:
 - Place very tall, rapid-growing trees behind buildings, but visible from arterial streets as a distant view, framing the buildings in a way that reduces their apparent height. These trees should also be used in side yards to enhance privacy;



Use vines and other vegetation to screen and soften retaining walls



Screen parking with min. 2.0m wide by 1.5m high landscape strip. One tree should be planted for every four cars.

- The front landscape edge along arterial streets should be bermed or terraced up to the first level above the parking lot. Vines and ground covers should be used to cascade down a retaining wall. Special effort to retain mature trees should be made by adjusting retaining walls to accommodate the trees; and
- A continuous hedge of low-growing evergreen shrubs should be located at the top of the terrace in front of any fencing to emphasize the wall of greenery and ensure year-round green along Garden City Road.

Retaining Walls, Planter Walls and Fences

- Low stone or treated landscape tie retaining walls up to 1 m (3.3 ft.) in height can encroach into the front yard setback, but lower level vegetation, including understorey should be visible above these walls. Vines or other cover should be planted so as to soften retaining walls.
- Hedges, close to or on the property line, should be a maximum of 1 m (3.3 ft.) in height. Fences are permitted, but may not encroach into the front yard setback. They are also limited to a maximum of 1 m (3.3 ft.) in height.

8.3.1.5 PARKING & SERVICES

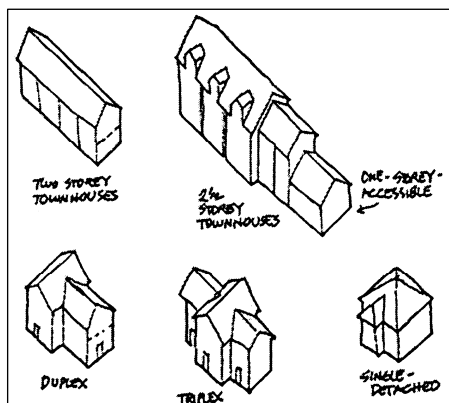
- Driveways along the ring road should be lined with tall columnar trees or shrubs.
- Vehicle gates are discouraged on the ring road.
- To enhance the naturalistic appearance from the street, the first 10 m (32.8 ft.) of any driveway entrance must be treated with grey paving material, rather than asphalt.
- Parking should be decked-over where possible, and all decks should be landscaped.
- Where surface parking is provided, it should not be visible from any street. Where provided behind buildings, it should be screened with a minimum of 2 m (6.6 ft.) in length x 1.5 m (4.9 ft.) landscape in height planting or trellis strips. Trees should also be planted at a minimum of one tree for every four parking stalls.

8.3.2 NEIGHBOURHOOD B1

Neighbourhood Character

Neighbourhood B1 will be predominantly comprised of 2½ storey townhouse developments. In addition, the area will also include:

- Accessible and adaptable housing (e.g. barrier-free units, etc.), and
- Rowhouse, triplex, duplex, and single-family detached dwellings.



This area is intended to provide a comfortable transition from the larger-scale townhouses permitted in Neighbourhood A and the predominantly single-family residential area in the eastern half of McLennan South. The neighbourhood park will be an important part of this transition. In addition, the transition will be reinforced by the area’s mid-range building densities (e.g. between that of Neighbourhood A and the “single-family area”) and its varied building heights. Buildings will typically be 2½ storeys high, but may be 3 storeys where impacts on adjacent development are negligible and the additional height provides for greater open space/landscape opportunities, a more interesting, informal, and varied streetscape, and/or other benefits. One and two-storey development may also be encouraged in the neighbourhood as it too will provide variety, while also helping to ensure that a range of housing choices will be available within McLennan South’s multiple-family precinct.

Intent of Specific Guidelines

These guidelines have two main objectives:

- To reinforce and make apparent Neighbourhood B's village-like and wooded qualities, with special emphasis on the park as a neighbourhood focal point; and
- Ensuring that Neighbourhood B **blends** with the other McLennan South neighbourhoods.



Tall coniferous trees provide a year-round backdrop for residences

8.3.2.1 SETTLEMENT PATTERNS

- Plant back yards with taller coniferous trees to create a framing and softening effect. Also include these trees in side yards that do not front a public road. Back yard fences, up to 1.5 m (4.9 ft.) in height, will be permitted if set back 1 m (3.3 ft.) from the property line.
- Along General Currie Road, all buildings should be set back 6 m (19.7 ft.) from the property line. Setbacks along this edge should be treated with more formal landscaping, such as flower beds, ornamental shrubs and smaller trees. Any fences along General Currie Road should be set back 2 m (6.6 ft.) from the property line and limited to 1 m (3.3 ft.) in height.

8.3.2.2 MASSING & HEIGHT

- Prevent the built form from overshadowing and dominating the natural realm.
- Along the proposed ring road, require buildings to be set back 6 m (19.7 ft.) from the property line.



Create a sense of transparency by providing spaces between buildings

- c) Along all streets, provide a minimum space of 4 m (13.1 ft.) between buildings to create a sense of transparency on private property, and further heighten that transparency by recessing large buildings (over 20 m (65.6 ft.) wide) at 8 m (26.2 ft.) intervals, to a width of 2 m (6.6 ft.) and depth of 2 m (6.6 ft.). Landscape features should be placed within or in front of the recess.
- d) There should be no more than 6 units in a row and 25 in a cluster. End units should be one-storey in height where possible.

8.3.2.3 ARCHITECTURAL ELEMENTS

Materials

- a) The use of brick is discouraged and the use of stucco should be minimized.

8.3.2.4 LANDSCAPE ELEMENTS

Plant Materials

- a) Provide 50% of the landscape in evergreen planting.
- b) Plant one large growing tree per 10.7 m (35 ft.) of frontage and, where possible, plant tall columnar trees in side yards.
- c) Soften buildings along the street edge by using filigree such as climbing ivy, clematis, or forsythia.

Retaining Walls, Planter Walls and Fences

- d) Low stone or treated landscape tie retaining walls up to 1 m (3.3 ft.) in height can encroach into the front yard setback, but lower level vegetation, including understorey should be visible above these walls. Vines or other cover should be planted so as to soften retaining walls.
- e) Hedges, close to or on the property line, should be a maximum of 1 m (3.3 ft.) in height. Fences are permitted, but may not encroach into the front yard setback. They are also limited to a maximum of 1 m (3.3 ft.) in height.

8.3.2.5 PARKING & SERVICES

- a) Where surface parking is provided, it should not be visible from any street. Where provided behind buildings, it should be screened with a minimum of 2 m (6.6 ft.) in length x 1.5 m (4.9 ft.) landscape in height planting or trellis strips. Trees should also be planted at a minimum of one tree every four parking stalls (see illustration).

8.3.3 NEIGHBOURHOOD B2

Neighbourhood Character

Neighbourhood B2 will be predominantly comprised of 2½ storey townhouse developments. In addition, the area will also include:

- Accessible and adaptable housing (e.g. barrier-free units, etc.); and
- Rowhouse, triplex, duplex, and single-family detached dwellings.

Like Neighbourhood B1, this neighbourhood is intended to provide a comfortable transition from the larger-scale townhomes permitted in Neighbourhood A and the predominantly single-family residential area in the eastern half of McLennan South. As such, it is intended that 2½ storey buildings predominate, but 1, 2, and 3 storey units will also be encouraged where they contribute to a more interesting and varied streetscape and/or provide other recognizable benefits. Rowhouse forms that can take advantage of shallower parcel depth and orient dwellings to the neighbourhood's public streets (with parking access from the rear) are especially encouraged in this neighbourhood.

Intent of Specific Guidelines

These guidelines have three main objectives:

- a) Enabling Neighbourhood B2 to fulfil its role within McLennan South:
 - Providing variety in the community's village aspect; and
 - Providing interesting contrast to other neighbourhoods.
- b) Ensuring that Neighbourhood B2 blends with the other McLennan South neighbourhoods.
- c) Addressing the challenges posed by the shallow lot depths combined with the townhouse use.

8.3.3.1 SETTLEMENT PATTERNS

- a) Given the unique constraints and role of Neighbourhood B2, here, the built environment may be more prominent than in other neighbourhoods. The wooded aspect will still be represented through the selective planting of taller coniferous trees in side and rear yards.
- b) In Neighbourhood B2, it is also important to provide a consistent streetscape in terms of form, but in this neighbourhood, a greater sense of variety and personality will be achieved through the use of colour and detailing.

8.3.3.2 MASSING & HEIGHT

- a) Prevent overshadowing and domination of the built environment over the natural realm.
 - Along the proposed new road, require buildings to be set back 6 m (19.7 ft.) from the front property line; and
 - Provide a minimum side yard space of 3 m (9.8 ft.) between rows of buildings to create a sense of transparency on private property.

8.3.3.3 ARCHITECTURAL ELEMENTS

Roof Form

- a) New development should incorporate steeply-pitched roofs (a minimum of 45°) with the gable end or dormers or hip roofs facing the street, and incorporate secondary roof forms over entries and porches.

Entrances, Porches and Stairs

- b) Define prominent main entries that incorporate front porches. If stairs are used, ensure that they are solid and robust.
- c) Design porches to be integrated into the facade, rather than appearing "tacked on".
- d) Porches and covered stairs should be at least 2.5 m (8.2 ft.) deep to allow for usability, and may project 2.5 m (8.2 ft.) into the front setback.

Balconies

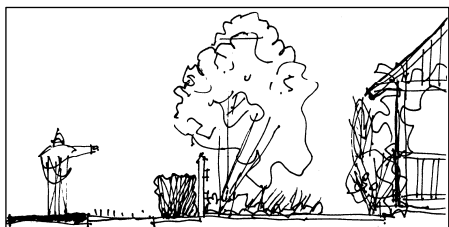
- e) Balconies should be a minimum of 60% recessed. Balconies should not project into the front setback.

Materials

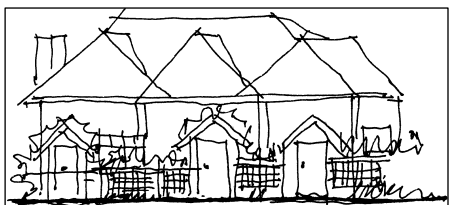
- f) Use narrow horizontal siding, wood shingles, wood trims and substantial wood window trims. Good quality vinyl-coated aluminium or solid vinyl reproductions of traditional siding materials are acceptable, but trim should still be wood.
- g) Avoid the use of stucco on any large surfaces visible from the street or rear lane.
- h) Use asphalt or cedar shingles on roofs.
- i) Generally, limit the number of finishing materials to two, to avoid an overly busy appearance.
- j) Bright colours that harmonize with those on existing neighbouring buildings are encouraged.

8.3.3.4 LANDSCAPE ELEMENTS

- a) The landscape character of this area is one of colour, seasonal variety, and finer-scale, pedestrian-oriented plantings. It should encourage a sense of neighbourliness.



Tall multi-stemmed tree in front of every second unit



Trellis and porches with climbing vines, roses, or ivy



Cluster of one, two and two-family, coach house and triplex housing

Plant Materials

- b) Flowering, deciduous shrubs or small trees should be clustered between units or a minimum of every third unit in the front yards. Recommended species include (but are not limited to): forsythia, dwarf cherry trees, lilacs, and buddleia.
- c) One tall, multi-stemmed tree, such as a vine maple columnar, or a narrow evergreen, should be provided in the front yard at every second unit.
- d) In the back yard, tall, columnar trees should be clustered at the end of every contiguous building footprint, or planted every 20 m (65.6 ft.).
- e) Planting beds in the front yard for perennial or annual flowers is encouraged.
- f) Vines and climbing plants are encouraged at the front of the buildings, particularly along front porches and trellises.

Fences and Hedges

- g) Low flowering or evergreen hedges (such as wild rose, boxwood, laurel) up to 1 m (3.3 ft.) in height are recommended at the front property line. These hedges should be located in front of any fencing provided along the streetscape.
- h) Fences in the front yard should be no higher than 1 m (3.3 ft.) and be of a visually permeable design.

8.3.4 NEIGHBOURHOOD C1

Neighbourhood Character

Neighbourhood C1 is envisioned as clusters of one, two and two-family, coach house (one or two units over parking) and triplex housing. It contributes to the pastoral or rural aspect of the community's country-estate character, as well as to the wooded aspect. This neighbourhood has no unique focal point, but places a special emphasis on the horizontal element to create a great sense of openness and a tie to Richmond's agricultural past. It recreates the traditional rural estate dwelling pattern, consisting of a large estate house, surrounded by smaller farm and residential buildings, by permitting only one triplex unit in each cluster, with a number of smaller coach house and single-family units. An unbroken linear border of dense vegetation on the neighbourhood's eastern edge provides a very strong wooded aspect.

Intent of Specific Guidelines

- a) These guidelines have two main objectives:
- Achieving a pastoral or rural character through the building form and character, the placement of buildings on the site, and the use of specific landscape treatment which makes the open space and wooded aspects visually dominant; and
 - Achieving neighbourly transition to Neighbourhood D westward across the ring road, to the Agricultural Land Reserve eastward across No. 4 Road, and to Neighbourhood C2 at the northern and southern ends.

8.3.4.1 SETTLEMENT PATTERNS

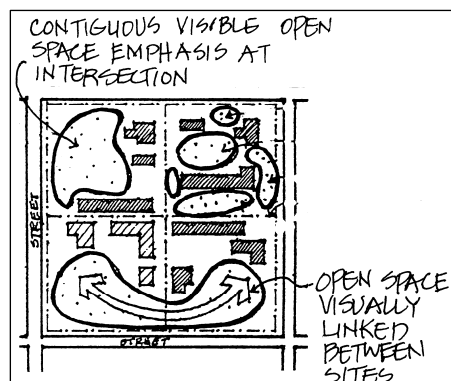
- a) To maintain the predominantly single-family scale of the eastern half of the community, and to further replicate the pattern of traditional rural estate dwellings:
- Housing should typically be grouped in clusters bordered by trees and green landscaping linked to a contiguous open space network and focused around landscaped courtyards;
 - Housing clusters on large sites should typically include three to four buildings, one of which is a larger “primary building” incorporating three units (or more where they are small and the resulting building complements the scale of the cluster). Clusters on small sites may simply include a larger detached dwelling or duplex with a smaller coach house;
 - Building setbacks along public roads should vary to convey an image of informality, provide opportunities to incorporate mature vegetation into new developments, and provide visual interest. As such, building setbacks should be as follows:
 - “Ring road” - 6 m (19.7 ft.) to 9 m (29.5 ft.);
 - No. 4 Road - 6 m (20 ft.) to 9 m (29.5 ft.) for 2-storey units only, 2 ½ storey units are to be set back a minimum of 9 m (29.5 ft.), and 3-storey units must be set back a minimum of 20 m (65.6 ft.);
 - Entry roads (e.g. access to No. 4 Road) - 6 m (19.7 ft.) or more; and
 - Existing single-family homes may not be landlocked without access to the “ring road” or an approved shared driveway access to No. 4 Road.

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8.3.4.2 MASSING & HEIGHT

- a) Buildings should typically be no more than 2 ½ storeys in height, but may be up to 3 storeys where impacts on adjacent development are negligible and the additional height provides for greater open space/landscape opportunities, a more informal and attractive streetscape, and/or other benefits;
 - When viewed from public roads, detached and duplex dwellings should be more visible than larger, “primary buildings”. Where this concept cannot apply, such as in the case of small lots, subtle variations should be incorporated between neighbouring buildings/properties to avoid a repetitive, urban look. Variations could include differences in building setbacks accentuated by large trees and other landscape features; differences in roof style and gable orientation; a mix of homes with large and small porches and some without any; differences in colour; etc.



8.3.4.3 ARCHITECTURAL ELEMENTS

Entrances

- a) In keeping with the image of a housing cluster with a primary dwelling:
 - Front doors to units facing the ring road should each be connected with a pathway that leads to the sidewalk.

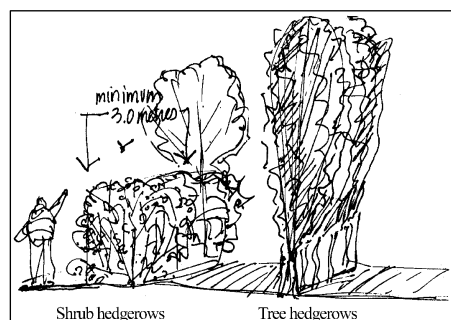
Materials

- b) To reinforce the rural character of buildings set into the landscape:
 - Wood finishes and earth tone colours should be predominantly used; and
 - Stucco, concrete, and bright colours should be minimized.

8.3.4.4 LANDSCAPE ELEMENTS

Plant Materials

- a) Existing trees and hedgerows should be preserved wherever possible.
- b) Open field or grass areas are encouraged along the ring road, to evoke an image of rural pasture. There should be a minimum of one large-growing tree per dwelling unit such as: oak, london plane, tulip, katsura, or chanticleer pear.
- c) In rear yards, plant one conifer tree per unit.



- d) Along No. 4 Road, plant tall, fast growing trees in the required setback. At the property line, plant a dense hedgerow or shrub border to act as a buffer. Native plants or agriculturally introduced plants are recommended, such as blueberry, elderberry, and salmonberry.

Fencing

- e) A solid fence, of up to 1.2 m (3.9 ft.), should be constructed along No. 4 Road behind the hedgerow to enhance privacy and act as a noise buffer.
- f) Along the ring road, fences are discouraged; however, they will be permitted if they meet the following conditions:
- Not higher than 1.2 m (3.9 ft.);
 - In the style of a split rail/picket or the equestrian white-painted rail fence; and
 - Set back at least 2 m (6.6 ft.) from the property line.

8.3.4.5 PARKING & SERVICES

- a) Driveways should be minimized (combined with adjacent parcels where possible), with a minimum of 38 m (124.7 ft.) between driveways, and a maximum width of 4 m (13.1 ft.). Paving materials should be grey in colour. Driveways should also be lined with fast-growing columnar trees reminiscent of the agricultural estates
- b) Any surface parking should not be visible from the ring road.

8.3.5 NEIGHBOURHOOD C2

Neighbourhood Character



Similar to Neighbourhood C1, the rural estate dwelling pattern of a primary building, surrounded by smaller buildings is repeated here. However, the generous setbacks found in Neighbourhood C1 are modified to suit the site conditions, resulting in an adapted version of the community's country-estate quality. The wooded aspect is provided through lush vegetation and medium-sized trees along arterial roads. There are two instances where this neighbourhood character emerges:

a) at the community's north-eastern edge bounded by Granville Avenue; and b) at the south-eastern edge bounded by Blundell Road. In both instances, the neighbourhoods are situated between the more intense village-estate character of Neighbourhood A and the more pastoral rural-estate character of Neighbourhood C1. In addition, both are located in close proximity to park space, the new community park in McLennan North, and the new neighbourhood park in McLennan South.

Intent of Specific Guidelines

- a) These guidelines have three main objectives:
- To achieve an adapted version of the rural estate character through building form and character, the placement of buildings on-site, and the use of special landscape treatment to provide screening and maximize the sense of openness;
 - To achieve neighbourly transition across the ring road to single-family houses, across entry roads to Neighbourhoods A and C1, and across arterials to single-family and townhouse dwellings; and
 - To meet the special challenge of lot depths which may be shallower than 30 m (98.4 ft.).

8.3.5.1 SETTLEMENT PATTERNS

- a) To maintain the predominantly single-family scale of the eastern half of the community and to further replicate the pattern of traditional rural estate dwellings:
- Housing should typically be grouped in clusters bordered by trees and green landscaping linked to a contiguous open space network and focused around landscaped courtyards;
 - Housing clusters on large sites should typically include three to four buildings, one of which is a larger “primary building” incorporating three units (or more where they are small and the resulting building complements the scale of the cluster). Clusters on small sites may simply include a larger detached dwelling or duplex with a smaller coach house;
 - When viewed from public roads, detached and duplex dwellings should be more visible than larger, “primary buildings”. Where this concept cannot apply, such as in the case of small lots, subtle variations should be incorporated between neighbouring buildings/properties to avoid a repetitive, urban look. Variations could include differences in building setbacks accentuated by large trees and other landscape features; differences in roof style and gable orientation; a mix of homes with large and small porches and some without any; differences in colour; etc.;
 - Buildings should be setback a minimum of 6 m (19.7 ft.) along public roads; and
 - Existing single-family homes and small lots may not be landlocked and must be provided with rear lane access where they occur along Blundell Road and shared driveways or rear lanes elsewhere.

8.3.5.2 MASSING & HEIGHT

- a) Buildings should typically be no more than 2 ½ storeys in height, but may be up to 3 storeys where impacts on adjacent development are negligible and the additional height provides for greater open space/landscape opportunities, a more informal and attractive streetscape, and/or other benefits;

8.3.5.3 ARCHITECTURAL ELEMENTS

Entrances

- a) In keeping with the image of a housing cluster with a primary dwelling:
 - Driveways should be minimized, with a minimum of 38 m (124.7 ft.) between driveways, and a maximum width of 4 m (13.1 ft.);
 - Front doors to units facing the ring road should be connected by a pathway that leads to the sidewalk; and
 - Front doors to units facing arterials may either have individual paths leading to the sidewalk or a consolidated path for each housing cluster; front doors with paths leading to the sidewalk must be clearly visible from the street. Consolidated paths must have clear, lighted addresses.

Materials

- b) To reinforce the rural character of buildings set into the landscape:
 - Cedar finishes and earth tone colours should be predominantly used; and
 - Stucco, concrete, and bright colours should be minimized.

Walls and Fencing

- c) Stone and brick fencing is not recommended on peat soil due to settling. Low solid walls or fences are permitted along arterial roads, but should be set back 1 m (3.3 ft.) from property line and no more than 1 m (3.3 ft.) in height, fronting medium-sized trees and lush vegetation to screen houses for privacy and avoid a walled effect.

8.3.5.4 LANDSCAPE ELEMENTS

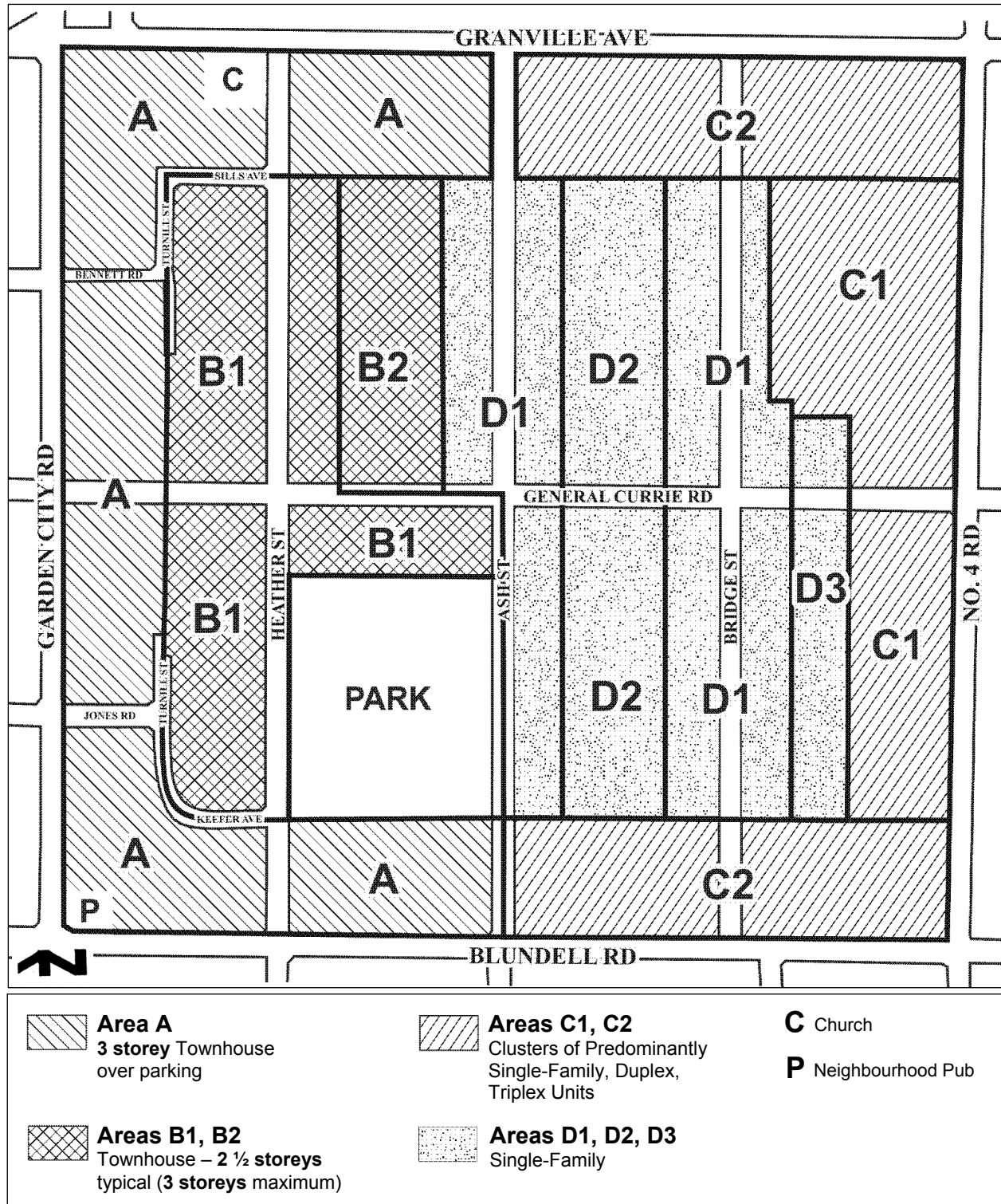
Plant Materials

- a) Existing trees and hedgerows should be preserved wherever possible
- b) There should be a minimum of one large-growing tree per 10 m (32.8 ft.) of lot width, such as: oak, london plane, tulip, katsura, or chanticleer pear

- c) In rear yards, plant one conifer per housing cluster
- d) Along arterials, typically 40% of planting should be broad-leaf evergreens or conifers; see also previous note on Walls and Fencing.

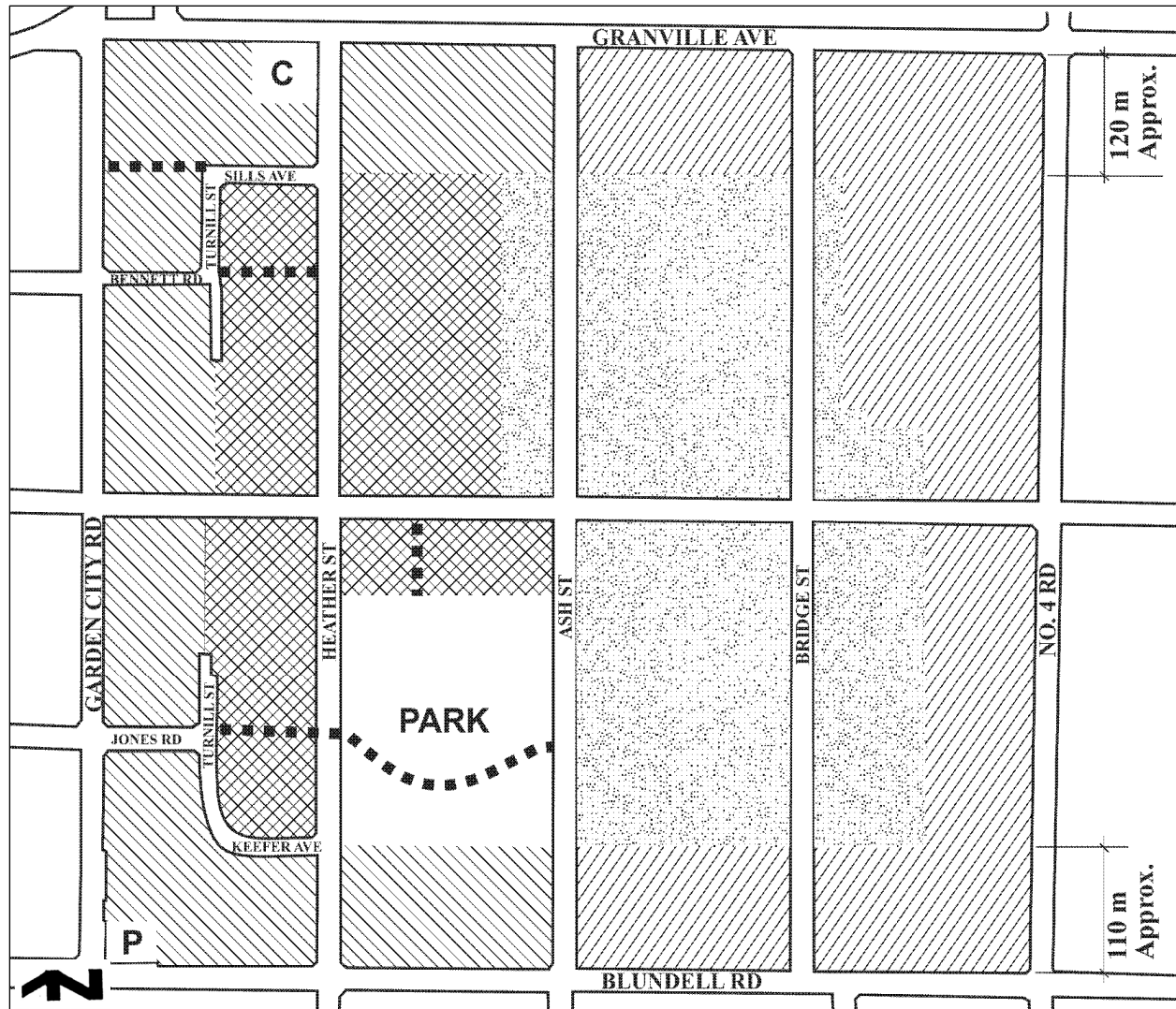
Character Area Key Map






Bylaw 9106
2015/09/14



Note: Sills Avenue, Le Chow Street, Keefer Avenue, and Turnmill Street are commonly referred to as the “ring road”.

Land Use Map Bylaw 9106
2015/09/14



<p> Residential, Townhouse up to 3 storeys over 1 parking level, Triplex, Duplex, Single-Family 0.75 base F.A.R.</p> <p> Residential, 2 ½ storeys typical (3 storeys maximum) Townhouse, Triplex, Duplex, Single-Family 0.60 base F.A.R.</p> <p> Residential, 2 ½ storeys typical (3 storeys maximum), predominantly Triplex, Duplex, Single-Family 0.55 base F.A.R.</p>	<p> Residential, Historic Single-Family, 2 ½ storeys maximum 0.55 base F.A.R., Lot size along Bridge and Ash Streets:</p> <ul style="list-style-type: none"> • Large-sized lots (e.g. 18 m/59 ft. min. frontage and 550 m²/ 5,920 ft² min. area) <p>Elsewhere:</p> <ul style="list-style-type: none"> • Medium-sized lots (e.g. 11.3 m/ 37 ft. min. frontage and 320 m²/ 3,444 ft² min. area), with access from new roads and General Currie Road; <p>Provided that the corner lot shall be considered to front the shorter of its two boundaries regardless of the orientation of the dwelling.</p>	<p> Trail/Walkway</p> <p>C Church</p> <p>P Neighbourhood Pub</p>
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Note: Sills Avenue, Le Chow Street, Keefe Avenue, and Turnill Street are commonly referred to as the “ring road”.

